

# DE MINIMIS REVISION TO APPROVED ZBA APPLICATION AND EXTERIOR MATERIALS SAMPLES

24-UNIT DEVELOPMENT  
14 WARD ST, SOMERVILLE, MA 02143

REVISED PER PLANNING DEPT. COMMENTS 2/9/19



WARD STREET ELEVATION

PREPARED BY:

ARCHITECT

PETER QUINN  
ARCHITECTS LLC  
259 ELM ST, STE 301  
SOMERVILLE, MA 02144  
PH (617) 354 3989

LIST OF DRAWINGS	DE MINIMIS APPL 21 NOV 2018	SP REV SUPPLEMENT 07 JUN 2019
ARCHITECTURAL		
A1.0 SITE PLAN APPROVED	X	X
A1.1A SITE PLAN PROPOSED (RENDERED)		X
A1.1B SITE PLAN PROPOSED (INFORMATIONAL)	X	X
A1.2 BASEMENT PLAN APPROVED	X	X
A1.3 BASEMENT PLAN PROPOSED	X	X
SUPPLEMENTAL DRAWINGS (3D)		X
A2.1 FRONT ELEVATION (WARD ST)	X	X
A2.2 LEFT ELEVATION (HORACE ST)	X	X
A2.3 RIGHT ELEVATION	X	X
A2.4 REAR ELEVATION	X	X
A2.5 SELECTED MATERIAL LAYOUT	X	X



LOCUS PLAN

"SP REVISION" 03/14/2019

SUPPLEMENTAL DRAWING 06/07/2019

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COMMUNITY DESIGN

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SEAL

CONSULTANT

PROJECT

24 UNIT  
DEVELOPMENT

14 WARD STREET  
SOMERVILLE, MA 02143

PREPARED FOR

BLOCK PROPERTIES, LLC  
129 NEWBURY STREET  
STE 400  
BOSTON, MA 02116

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION / ISSUE	DATE
SUPPLEMENT	06/07/2019
SP REVISION	14 MAR 2019
DE MINIMIS REV 1	09 FEB 2019
DE MINIMIS SET	07 DEC 2018
DRAWN BY CM	REVIEWED BY PQ

SHEET

T1.1

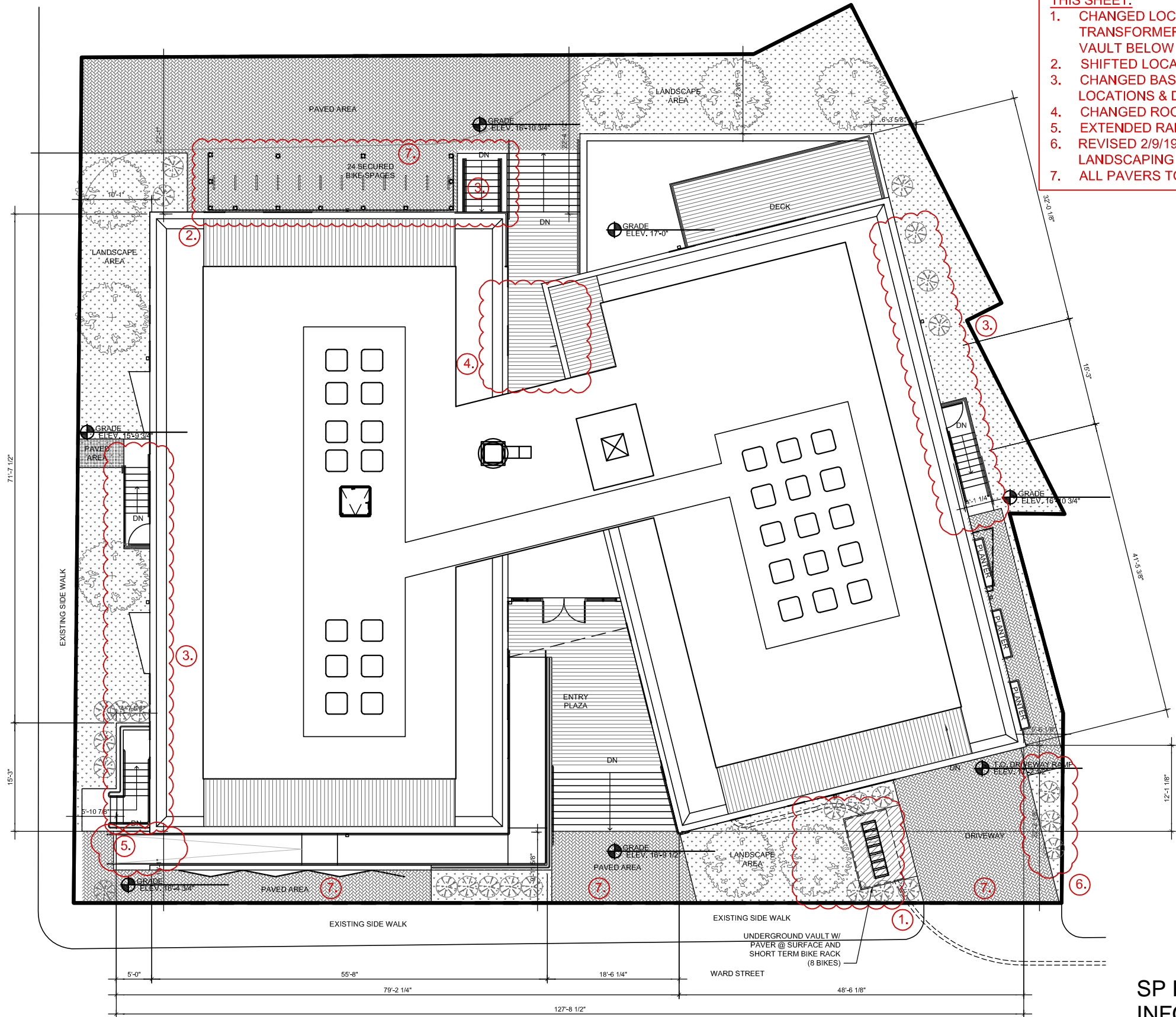








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- THIS SHEET:**
1. CHANGED LOCATION OF TRANSFORMER TO UNDERGROUND VAULT BELOW PAVER TERRACE
  2. SHIFTED LOCATION OF BIKE SPACES
  3. CHANGED BASEMENT EGRESS LOCATIONS & DIRECTIONS
  4. CHANGED ROOF OVER REAR ENTRANCE
  5. EXTENDED RAMP FOR FINAL GRADES
  6. REVISED 2/9/19 - ADDED ADDITIONAL LANDSCAPING AT FRONT
  7. ALL PAVERS TO BE PERMEABLE

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DRAWING TITLE  
**PROPOSED SITE PLAN**

SCALE AS NOTED

REVISION	DATE
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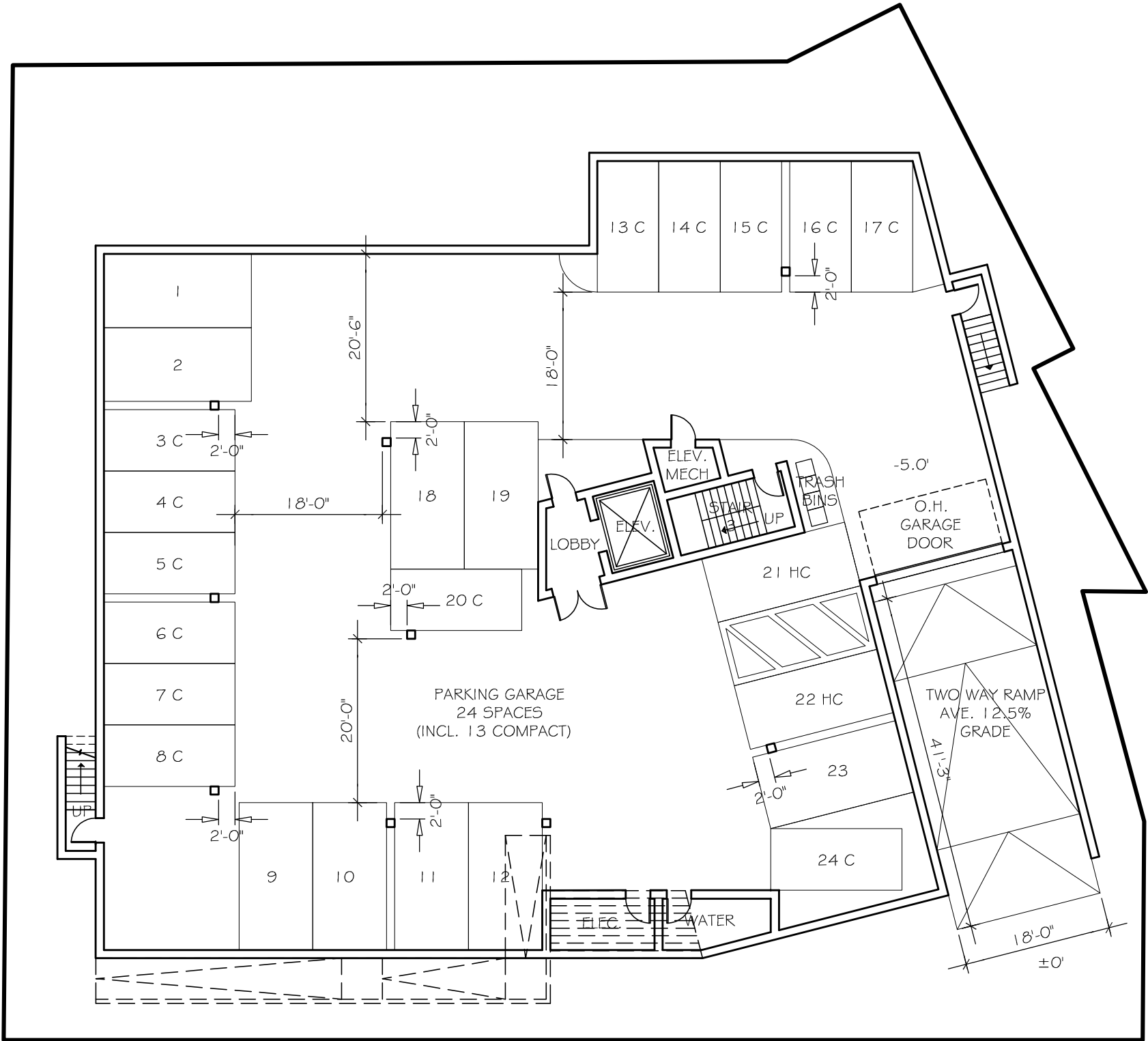
SHEET

**A1.1B**

SP REVISION  
INFORMATIONAL  
**PROPOSED DE MINIMIS CHANGES**  
**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1/16" = 1'-0"



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APPROVED

14 FEB 2018 PER ZBA 2017-122

1 BASEMENT/PARKING GARAGE FLOOR PLAN

SCALE: 1/16" = 1'-0"



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APPROVED  
BASEMENT/  
PARKING  
GARAGE  
FLOOR PLAN

SCALE AS NOTED

REVISION DATE

DE MINIMIS REV 1 09 FEB 2019

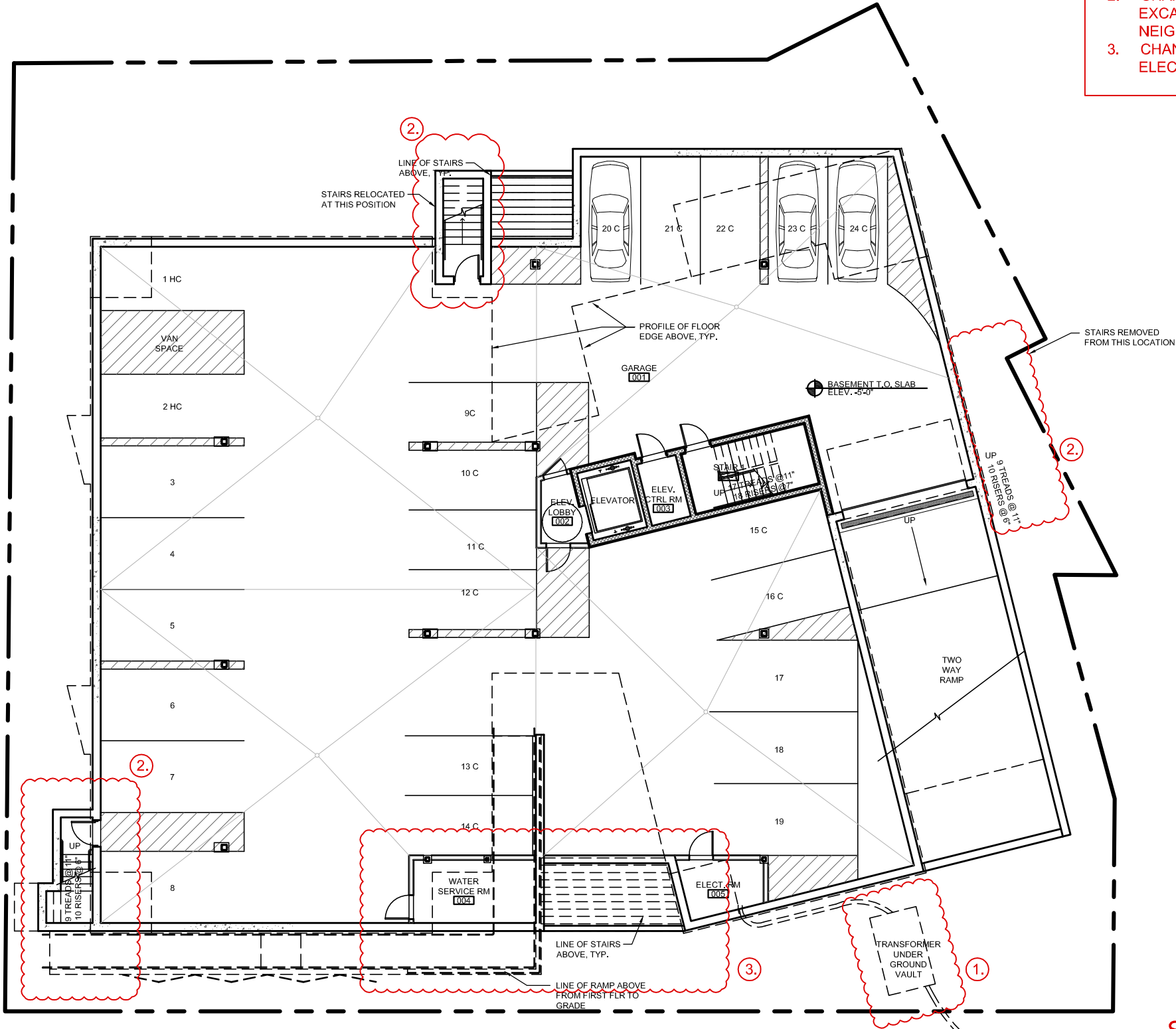
DE MINIMIS SET 07 DEC 2018

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SHEET

A1.2

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- THIS SHEET:**
1. CHANGED LOCATION OF TRANSFORMER TO UNDERGROUND VAULT
  2. CHANGED STAIR LOCATION AS PRIOR LOCATION AND EXCAVATION WOULD BE TOO CLOSE TO THE NEIGHBOR'S PROPERTY
  3. CHANGED LOCATION OF WATER SERVICE ROOM & ELECT. ROOM

SP REVISION  
PROPOSED DE MINIMIS CHANGES

1 BASEMENT FL. PLAN  
SCALE: 1/16" = 1'-0"

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PROPOSED  
BASEMENT  
FLOOR PLAN

SCALE AS NOTED

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SP REVISION 14 MAR 2019

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DE MINIMIS SET 07 DEC 2018

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A1.3





VIEW ALONG WARD ST

3D APPROVED

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DRAWING TITLE  
**3D VIEW**

SCALE AS NOTED	
REVISION	DATE
ZBA REV 3	03 JAN 2018
ZBA REV 2	13 DEC 2017
ZBA REV 1	30 NOV 2017
ZBA	16 NOV 2017
DRAWN BY FV	REVIEWED BY PQ

SHEET  
**A0.1**





VIEW ALONG WARD ST

3D SHOWING PROPOSED CHANGES

EXPLANATION OF CHANGES ON SHEET A2.1 - A2.4

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ZBA	16 NOV 2017

DRAWN BY FV	REVIEWED BY PQ
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SHEET

A0.1





VIEW ALONG WARD ST TOWARD MEDFORD AT

3D APPROVED

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SHEET

A0.2





VIEW ALONG WARD ST TOWARD MEDFORD AT

3D SHOWING PROPOSED CHANGES

EXPLANATION OF CHANGES ON SHEET A2.1 - A2.4

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A0.2





VIEW OF MAIN ENTRANCE

3D APPROVED



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DRAWING TITLE  
**3D VIEW**

SCALE AS NOTED	
REVISION	DATE
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ZBA REV 1	30 NOV 2017
ZBA	16 NOV 2017
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**A0.3**





VIEW OF MAIN ENTRANCE

3D SHOWING PROPOSED CHANGES

EXPLANATION OF CHANGES ON SHEET A2.1 - A2.4

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A0.3



SCALE AS NOTED	
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- THIS SHEET:**
1. WINDOW PATTERN AND LAYOUT CHANGED TO CORRELATE TO FINAL INTERIOR LAYOUTS OF THE UNITS.
  2. SMALL ADJUSTMENTS TO PARAPET SLOPE FOR AESTHETICS.
  3. SMALL ADJUSTMENTS TO BUILDING HEIGHT TO AVOID SEASONAL HIGH GROUND WATER (REVIEWED AND APPROVED BY ENGINEERING DEPT).
  4. ADJUSTMENT OF DOWNSPOUT LOCATION.

UPDATED WITH REVISED COLOR SELECTIONS



**PROPOSED**  
**1 FRONT ELEVATION**  
SCALE: 1/16" = 1'-0"



- TYPICAL MATERIALS  
SEE SHEET A2.5
- ROCKY GRAY METAL HORIZONTAL SIDING
  - CEDAR LAP SIDING, 4" TRIM, TYP.
  - ASCOT WHITE METAL VERTICAL SIDING

**APPROVED**  
14 FEB 2018 PER ZBA 2017-122  
**2 WARD STREET ELEVATION**  
SCALE: 1/16" = 1'-0"



**THIS SHEET:**

1. WINDOW PATTERN AND LAYOUT CHANGED TO CORRELATE TO FINAL INTERIOR LAYOUTS OF THE UNITS.
2. BAYS LOCATIONS CHANGED TO PROVIDE WINDOWS IN MAJOR ROOMS BASED ON FINAL INTERIOR LAYOUTS OF THE UNITS
3. SMALL ADJUSTMENTS TO BUILDING HEIGHT TO AVOID SEASONAL HIGH GROUND WATER (REVIEWED AND APPROVED BY ENGINEERING DEPT).
4. ADJUSTMENT OF DOWNSPOUT LOCATION.
5. CHANGED EGRESS STAIR ORIENTATION TO AVOID BAY/HEADROOM ISSUE
6. ADDED REQUIRED EGRESS FROM BASEMENT
7. BALCONIES MADE SLIGHTLY LARGER

UPDATED WITH REVISED COLOR SELECTIONS

**PROPOSED**

**1 LEFT ELEVATION**  
SCALE: 1/16" = 1'-0"

**APPROVED**

14 FEB 2018 PER ZBA 2017-122

**2 HORACE STREET ELEVATION**  
SCALE: 1/16" = 1'-0"



**2 HORACE STREET ELEVATION**  
SCALE: 1/16" = 1'-0"



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  2. BAYS LOCATIONS CHANGED TO PROVIDE WINDOWS IN MAJOR ROOMS BASED ON FINAL INTERIOR LAYOUTS OF THE UNITS
  3. SMALL ADJUSTMENTS TO BUILDING HEIGHT TO AVOID SEASONAL HIGH GROUND WATER (REVIEWED AND APPROVED BY ENGINEERING DEPT).
  4. ADJUSTMENT OF DOWNSPOUT LOCATION.
  5. CHANGED EGRESS STAIR ORIENTATION TO AVOID BAY/HEADROOM ISSUE
  6. BALCONIES MADE SLIGHTLY LARGER

UPDATED WITH REVISED COLOR SELECTIONS

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DRAWING TITLE  
ELEVATIONS

SCALE AS NOTED

REVISION DATE

DE MINIS REV 1 09 FEB 2019

DE MINIS SET 21 NOV 2018

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A2.3



**PROPOSED**  
**1 RIGHT ELEVATION**  
SCALE: 1/16" = 1'-0"



**APPROVED**  
14 FEB 2018 PER ZBA 2017-122  
**2 RIGHT ELEVATION**  
SCALE: 1/16" = 1'-0"



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1. WINDOW PATTERN AND LAYOUT CHANGED TO CORRELATE TO FINAL INTERIOR LAYOUTS OF THE UNITS.
  2. BAYS LOCATIONS CHANGED TO PROVIDE WINDOWS IN MAJOR ROOMS BASED ON FINAL INTERIOR LAYOUTS OF THE UNITS
  3. SMALL ADJUSTMENTS TO BUILDING HEIGHT TO AVOID SEASONAL HIGH GROUND WATER (REVIEWED AND APPROVED BY ENGINEERING DEPT).
  4. ADJUSTMENT OF DOWNSPOUT LOCATION.
  5. CHANGED EGRESS STAIR ORIENTATION TO AVOID BAY/HEADROOM ISSUE.
  6. ADDED REQUIRED EGRESS FROM BASEMENT.
  7. BALCONIES MADE SEMI ENCLOSED AT REAR
  8. BIKE SHED DELINEATED.
  9. GLAZING AND REAR DOORS DELINEATED.

UPDATED WITH REVISED COLOR SELECTIONS

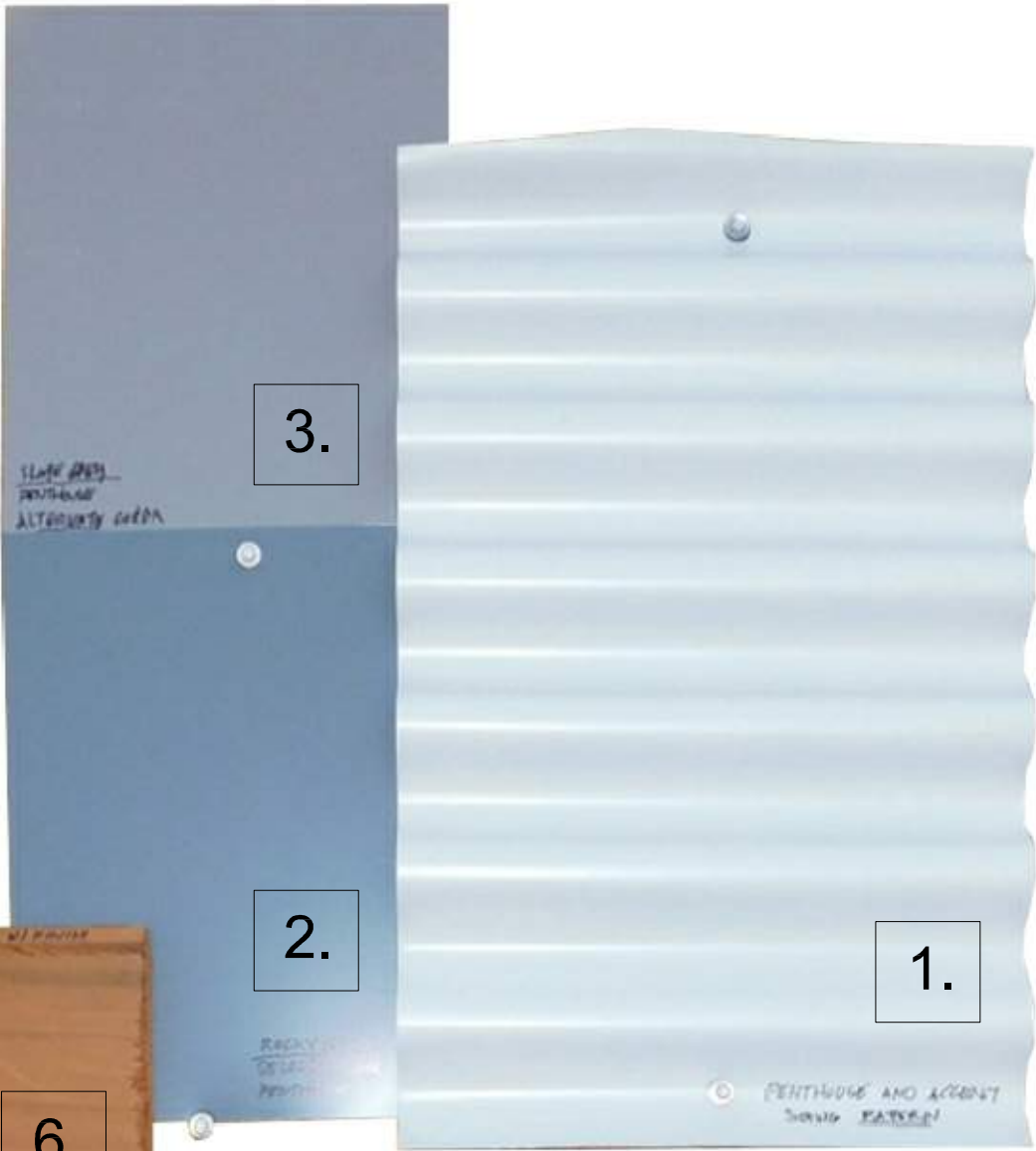


**PROPOSED**  
**1 REAR ELEVATION**  
SCALE: 1/16" = 1'-0"



**APPROVED**  
14 FEB 2018 PER ZBA 2017-122  
**2 REAR ELEVATION**  
SCALE: 1/16" = 1'-0"





SELECTIONS OF EXTERIOR MATERIALS  
(MOUNTED AT 14 WARD SITE FOR FIELD  
REVIEW.)

1. PATTERN - CORRUGATED METAL SIDING  
FOR FOURTH FLOOR & CONNECTOR, ATAS  
METALS
2. COLOR - CORRUGATED SIDING - ROCKY  
GREY, ATAS METALS
3. COLOR - ALTERNATE FOR CORRUGATED -  
SLATE GREY (NOT SELECTED)
4. PATTERN - PRIMARY WALL SIDING  
VERTICAL, ATAS METALS
5. COLOR - PRIMARY WALL SIDING, ASCOT  
WHITE, ATAS METALS
6. CEDAR T&G SIDING WITH CLEAR STAIN FOR  
BALCONIES AND BAYS

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A2.5